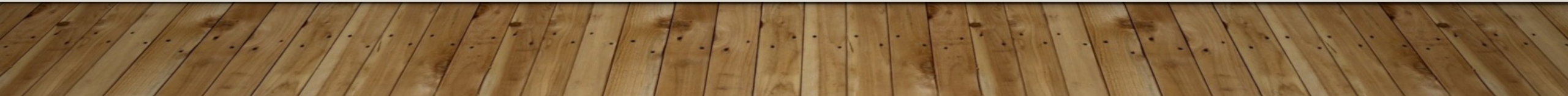


CYPREMORT RENOVATIONS 2021

BEFORE AND AFTER

SUBMITTED BY MARGARET TODD



FRONT STAIRS

- The front, main staircase was rotten due to the multiple storm surges that submerged it in salt water for many hours over recent years.
- A few bottom steps collapsed shortly after this photo was taken.



FRONT STAIRS

-
- The staircase was, completely, rebuilt using KDAT treated pine (wharf material) for the risers, treads and handrails. Full, vertical supports were installed on the back side of unit.
 - The spindles are composite vinyl to withstand weathering and avoid repainting.
 - All stair components fastened with stainless steel screws.



SCREEN PORCH

- Handrails and trim were rotten.
- Unstable when pushed on.
- Vertical supports had rotten bases.



SCREEN PORCH

- The porch was, completely, re-built except for the floor, which was, still, in good condition.
- All vertical columns are made of Hardy (cement) Board wrapped in composite vinyl to withstand the salty air.
- Handrails and spindles are of composite vinyl to avoid having to repaint.



SCREEN PORCH

-
- Porch floor was top-coated with a fresh coat of paint.



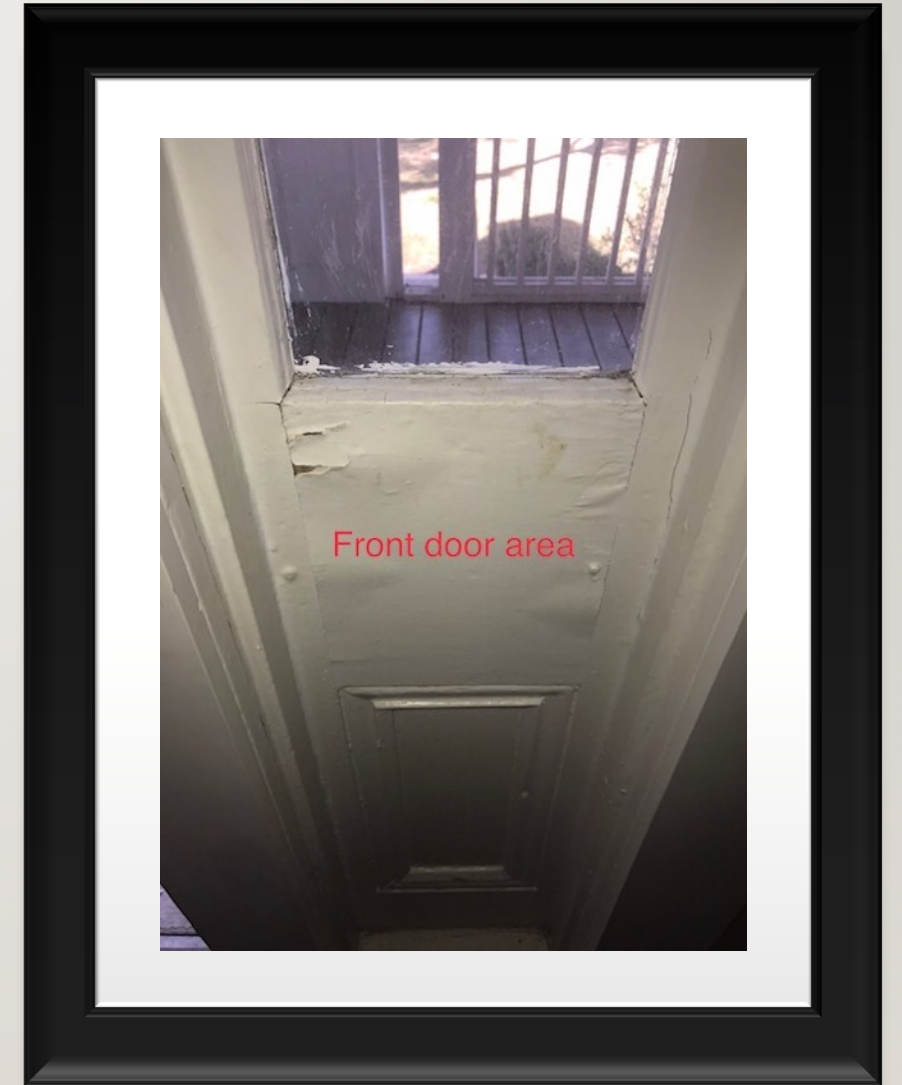
SCREEN PORCH

- New vinyl screen door replaced the old, rotten wooden one.



FRONT DOOR INTERIOR

- The door and sides had severe, peeling paint.
- Cracks around the perimeter of the door let in sunlight and heat.



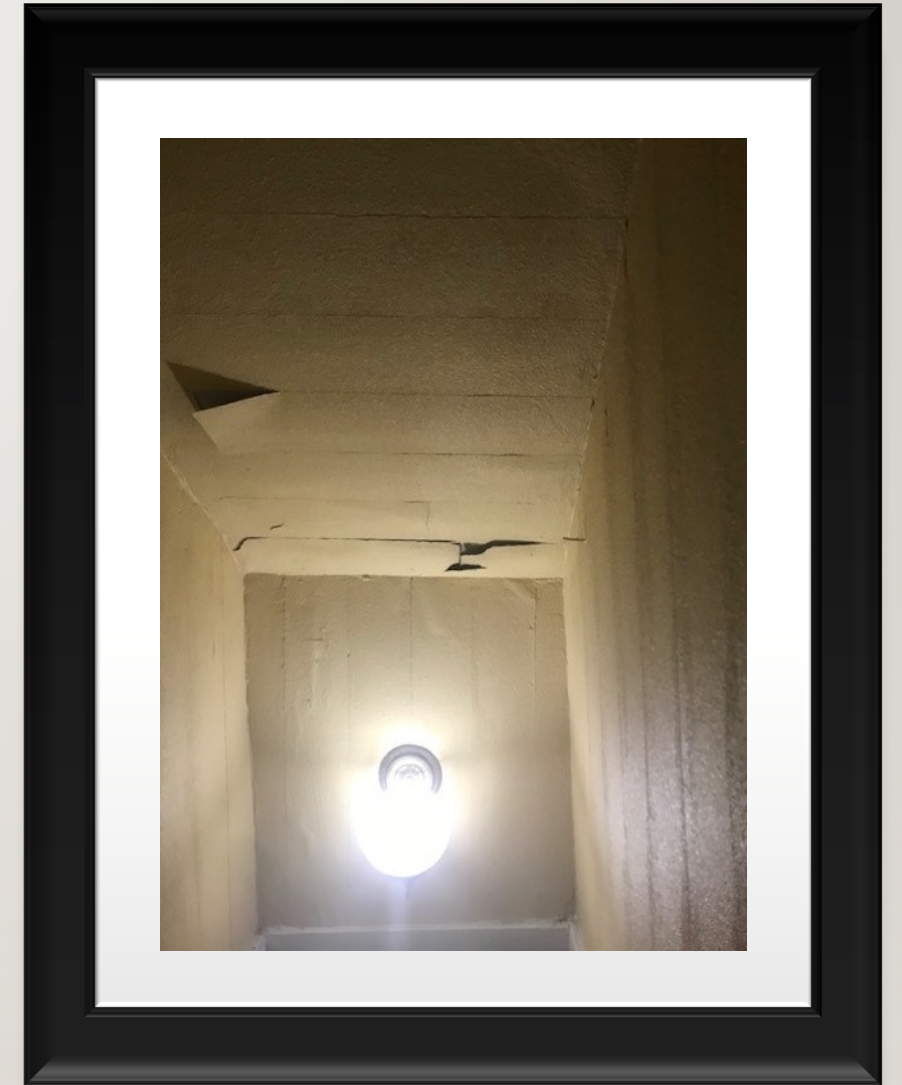
FRONT DOOR INTERIOR

- The door was repainted, new weatherstripping applied, and new door moulding added to the exterior doorway.
- No more, “seeing daylight,” through the door opening.



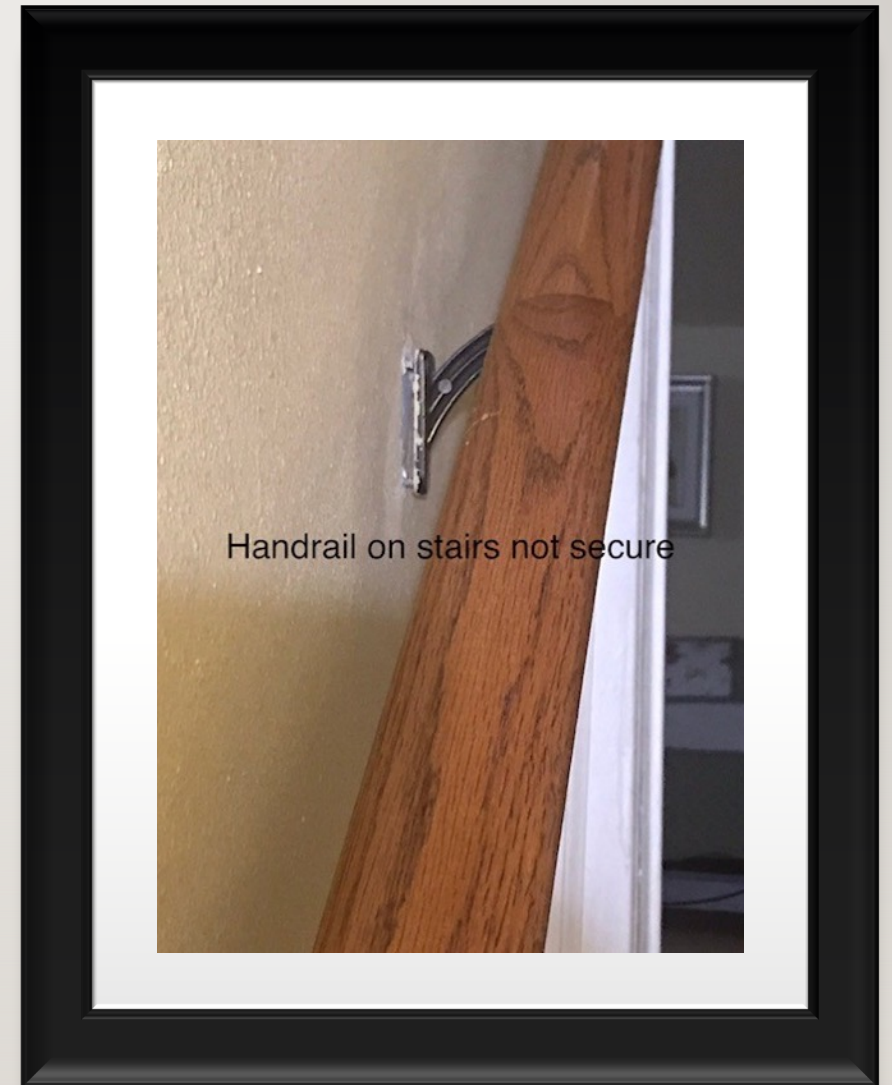
INTERIOR STAIR WALL

- Previously, many, layers of paint were peeling from the ceilings and walls.



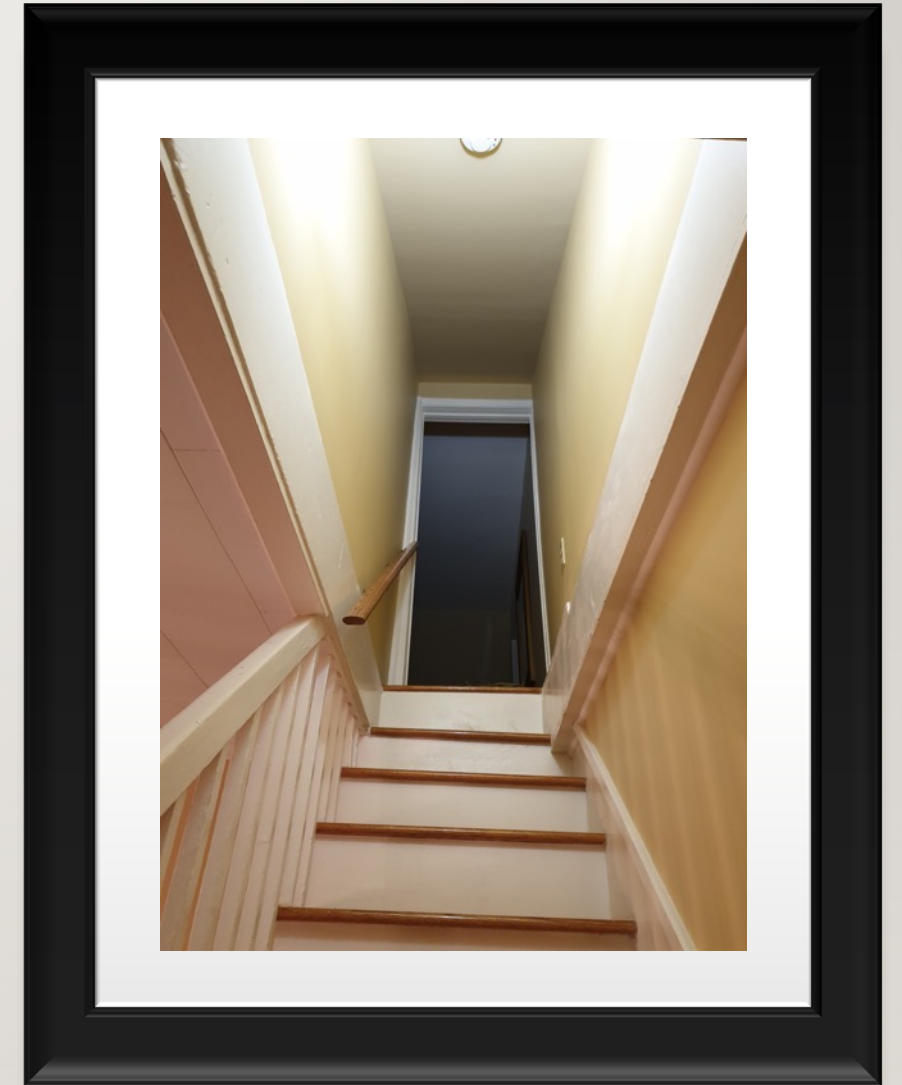
INTERIOR STAIR HANDRAIL

- The stair handrail was detaching from wall.



INTERIOR STAIRWELL

- New sheetrock was installed to the stairwell and painted to match lower areas.
- Reinforced handrail connections were completed.



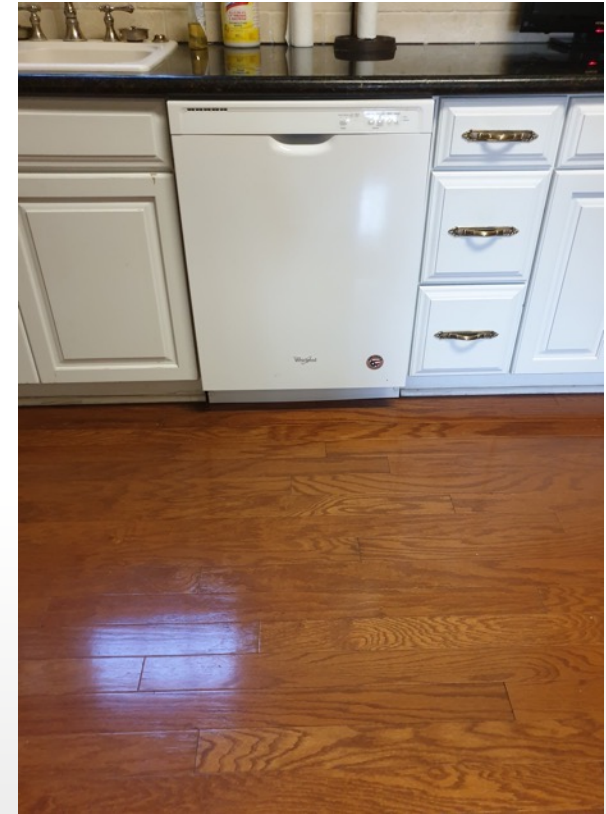
FIREPLACE

Cathy Eagan, on behalf of the Family Council, requested that the gas plumbing assembly in the fireplace be removed for safety as it is, often, unoccupied, and could lead to a fire if, accidentally, left lit. It was requested an electric unit be installed.



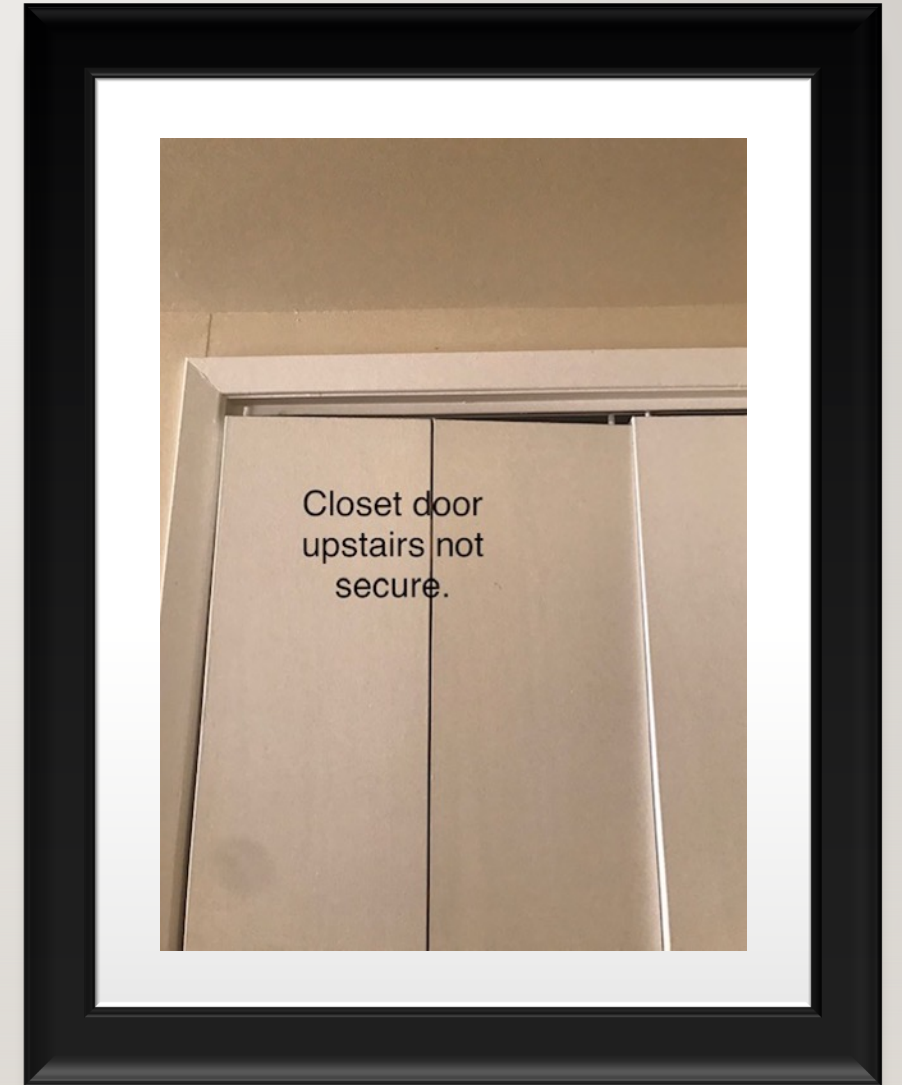
DISHWASHER

- The dishwasher was, never, installed properly. So, it was not anchored to the cabinetry and would move when opened.
- A flange was mounted under the countertop ledge to hold it in place.
- A new supply line and valve were installed to replace the old leaky one.



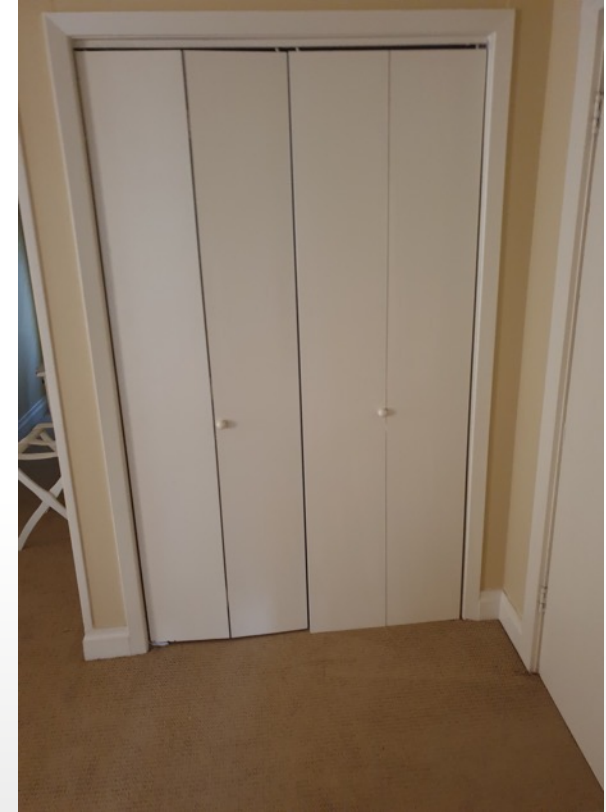
CLOSET DOOR

- The upstairs, bedroom closet door was not secure and would fall off the track, and forward.



CLOSET DOOR

- The door was secured into its track for ease in opening.



AIR INTAKE

- The intake grill was pressure washed.



BEDROOM WINDOW

- The upstairs, bedroom dormer window had rotted out to the extent that the panes slipped downward and left a $\frac{3}{4}$ -inch opening for rain to get in.
- Water spots were on the bedroom ceiling below.



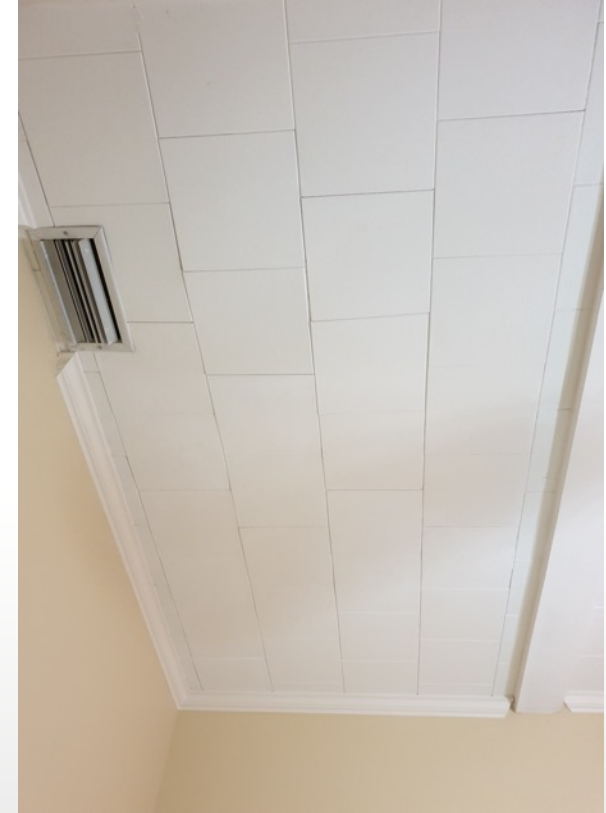
BEDROOM WINDOW

- A replacement wood sash was installed, cleaned, caulked and painted.



BEDROOM CEILING

- The bedroom ceiling below the leaking window was touched-up with paint to cover the brown spots.



BACK SCREEN DOOR

- Request from Michele Reed – back screen door.
- She contributed \$250 toward the purchase and installation. The Family is grateful for her suggestion, and contribution, too.



BACK STAIRS

- The stair treads were repainted.
- Top landing had an, “unstable, bouncy,” feel that was reinforced from underneath.



GARAGE GABLE

- The siding on the garage gables were peeling.
- There was evidence of rot along the fascia board below the siding, too.



OUTDOOR STORAGE STAIRS

- The handrail to the outdoor storage area was wobbly.
- Added a block to secure the handrail to the side wall.



BREEZEWAY CONNECTOR

- Water intrusion from the stairway landing caused rot on the plywood ceiling.
- Added a sheet metal flashing to direct the water over towards the outsides. Therefore, the water can not be absorbed into the plywood.
- Replaced and painted plywood. Sealed all surfaces.



GUTTER OVERFLOW

- Rainwater runoff was overwhelming the gutter and spilling over side.
- Gutter was repositioned with additional flashing to accommodate and redirect waterflow through channel and not over the edge.



SEWER SYSTEM & ELECTRICAL REPAIRS

- The sewer treatment plant was not functioning.
- The sewer repairman determined there was no electricity feeding it.
- An electrician was called to complete the repair.



SEWER SYSTEM & ELECTRICAL REPAIRS

- Electrician installed a new line to the sewer system.



SEWER SYSTEM & ELECTRICAL REPAIRS

- While there, the electrician changed all inoperable breakers in the outside box.
- Also, he repaired the receptacle not working on the upstairs porch.

